



Memorandum

To: Planning Commission Members
From: Elizabeth J Corwin, PE, AIPC; Planning Director
Date: February 7, 2024
Re: Site Plan Amendment
Applicant: Michael Bruns
Property Owner: Iverson's 1664 N Milford, LLC
1664 N Milford
PIN 11-15-376-008, 11-15-376-009

The project presented for your consideration is the addition of a storage building at the existing Iverson's building supply facility on North Milford Road. The building will displace a fenced open storage yard on the north side of the property. In addition, the applicant plans to remodel the existing buildings to convert the southernmost building to storage and move all the offices into the northern building. This enables the operator to abandon the southernmost septic system, which provides a place for reserved future parking to replace those spaces displaced by the new building.

The project, as proposed, encroaches into the required front yard setback. The applicant has submitted a request for variance that will be considered at the February 21st Zoning Board of Appeals meeting.

When the northernmost parking and storage yard were developed in 2016/17, the detention volume on the site was increased to accommodate the additional hard surface. The proposed building does not actually increase the imperviousness of the site, and the applicant has proposed directing the downspouts to the existing basin (which would not be expanded.) As long as the system performs as expected, this should be suitable.

The site is served by public water supply. There is an existing septic tank/drainfield for each of the existing buildings. It would not be necessary to provide service for the warehouse spaces on the proposed building and southernmost building provided the plumbing is removed.

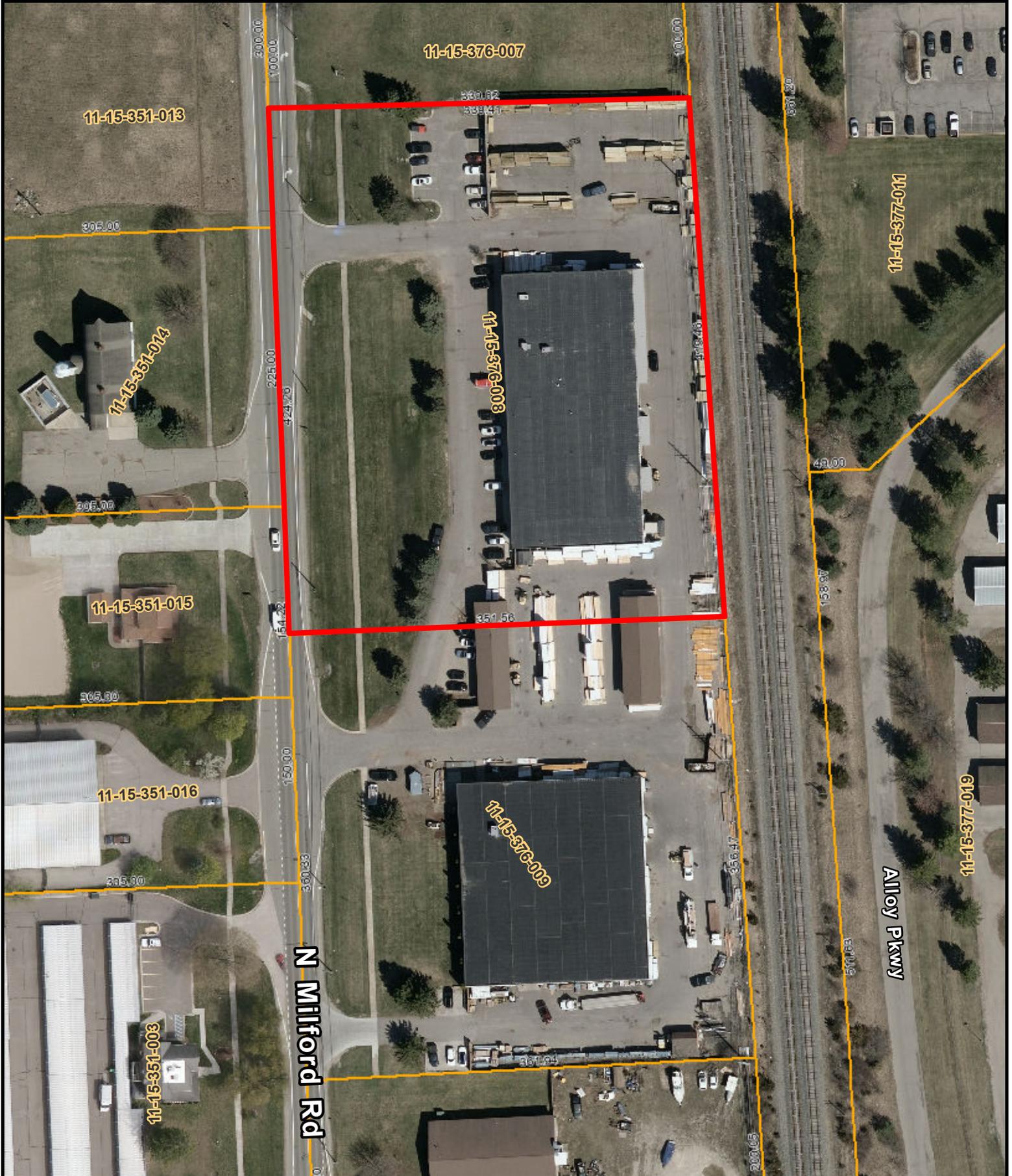
The number of existing and future proposed (reserved spaces) satisfy the zoning ordinance requirements. The required sidewalk has been previously extended along the entire frontage of the site, although it is not indicated on the siteplan. As we understand the project, there is no proposal for new site lighting. If any building mounted lighting is proposed, it could be reviewed as part of the building permit.

Warm inside. Great outdoors.



One item that bears discussion is whether the Planning Commission feels that the landscaping is adequate. In past reviews, the Planning Commission has determined that the existing mature pines are sufficient, even though they do not meet the letter of the ordinance in regard to required street trees. Part of that determination was based on the need to protect the existing septic systems from root intrusion. Given that the south building is to be disconnected from that system, you may wish to revisit your past decision.

1664 N Milford Rd



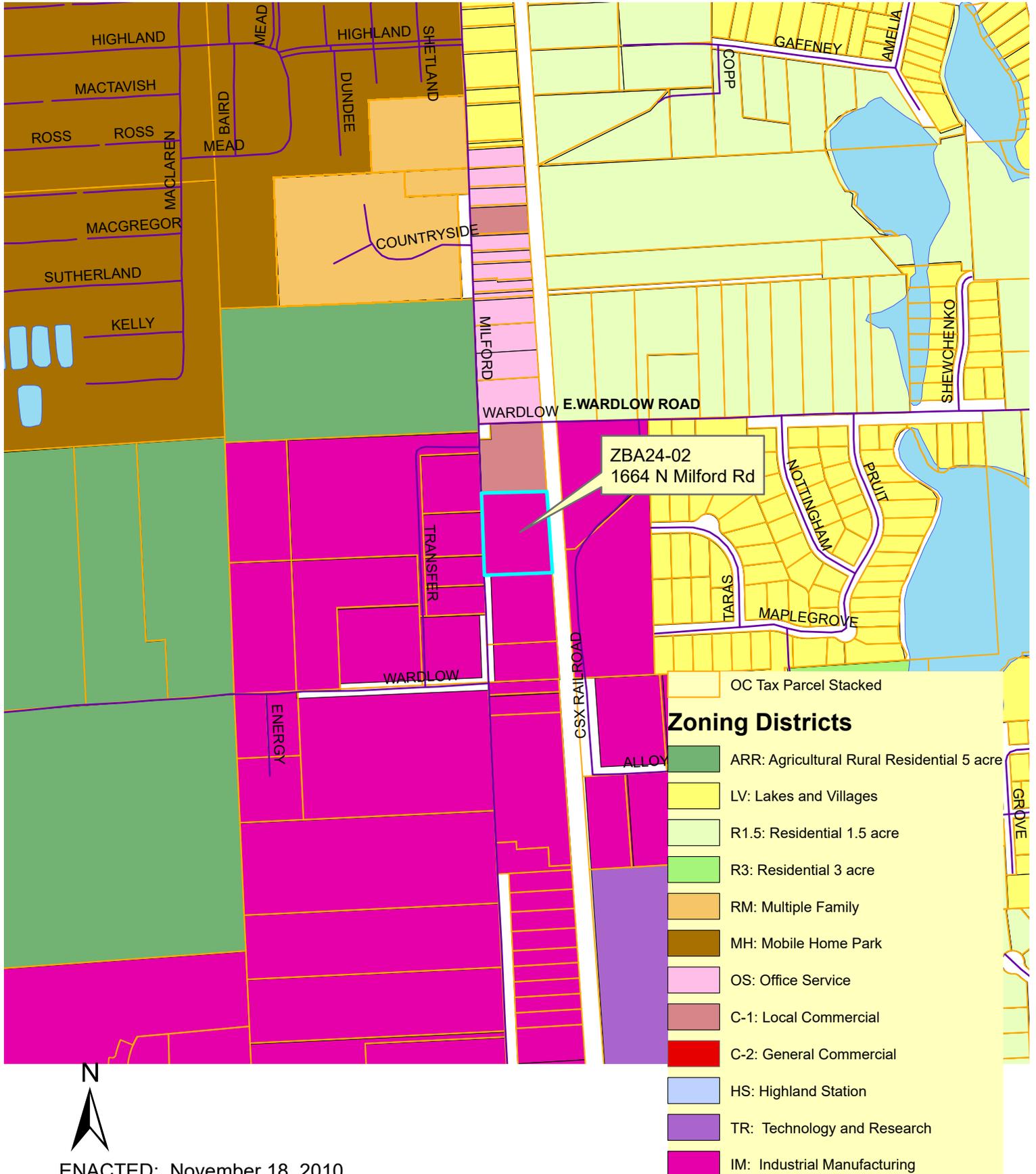
Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.

OAKLAND COUNTY MICHIGAN
 Economic Development & Community Affairs
David Coulter
 Oakland County Executive

Date Created: 1/16/2024

 NORTH
 1 inch = 100 feet

CHARTER TOWNSHIP OF HIGHLAND ZONING MAP



ENACTED: November 18, 2010



- Site Plan Review
- Rezoning
- Use Requiring Special Approval
- Land Division
- Land Division & Combination
- Road Profile
- Other

PLAN REVIEW APPLICATION

Highland Township Planning Department, 205 N. John St, Highland, Michigan 48357 (248) 887-3791 Ext. 2

Date Filed: 2/5/24 Fee: \$750⁰⁰ Escrow: \$2500⁰⁰ Case Number: SPR24-01

NOTICE TO APPLICANT AND OWNER

BY SIGNING THIS APPLICATION, THE APPLICANT AND OWNER ACKNOWLEDGE ONE OR THE OTHER OR BOTH ARE RESPONSIBLE FOR ALL APPLICATION AND CONSULTANT FEES THAT ARISE OUT OF THE REVIEW OF THIS REQUEST THE OWNER ALSO AUTHORIZES THE TOWNSHIP TO PLACE A SIGN ON THE PROPERTY, IF NECESSARY, TO INFORM THE PUBLIC OF THE PENDING MATTER BEING REQUESTED.

REQUIRED COPIES OF PLANS

INITIAL REVIEW: 2 HARD COPIES OF PLANS AND .PDF COPY OF PLANS
 CONSULTANTS REVIEW OF APPROVED PLANS SUBJECT TO CONDITIONS: 5 COPIES AND .PDF COPY

1. APPLICANT INFORMATION

NAME: Michael Bruns
 ADDRESS: 2120 Watkins Rd.
Ft. Recovery OH 45846
 PHONE: (419) 852-2467
 EMAIL: mike@BrunsConsultingllc.com

OWNER INFORMATION

NAME: Jeff Bruns
 ADDRESS: 342 W Columbus St.
St. Henry, OH 45883
 PHONE: (419) 852-4096
 EMAIL: Schockman Jeff Bruns@yahoo.com

2. PROPERTY INFORMATION

ADDRESS OR ADJACENT STREETS: 1664 and 1570 North Milford Road, Highland, MI 48357
 LOT WIDTH: 424.26/360.33' LOT DEPTH: 331.41/351.56/361.94' LOT AREA: 3.345 acres/2.67 acres
 PARCEL IDENTIFICATION NUMBER(S): 11-15-376-008/11-15-376-009

3. PROJECT INFORMATION

PROJECT NAME: Iverson's Lumber Company
 PRESENT ZONING: IM PROPOSED ZONING: IM
 PRESENT USE: Lumber sales PROPOSED USE: Lumber sales

APPLICANT

SIGNATURE: Michael Bruns
 PRINT NAME: Michael Bruns

On the 2 day of Feb., 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan
 County Of Oakland



NICHOLE R. UHLENHAKE
 Notary Public, State Of Ohio
 My Commission Expires 3/22/25

Notary Public: Nichole R. Uhlenhake

OWNER

SIGNATURE: Jeff Bruns
 PRINT NAME: Jeff Bruns

On the 2 day of Feb., 2024 before me, a Notary Public, personally appeared the above named person whose signature appears above, and who executed the foregoing instrument, and he/she acknowledged to me that he/she executed the same.

State Of Michigan
 County Of Oakland



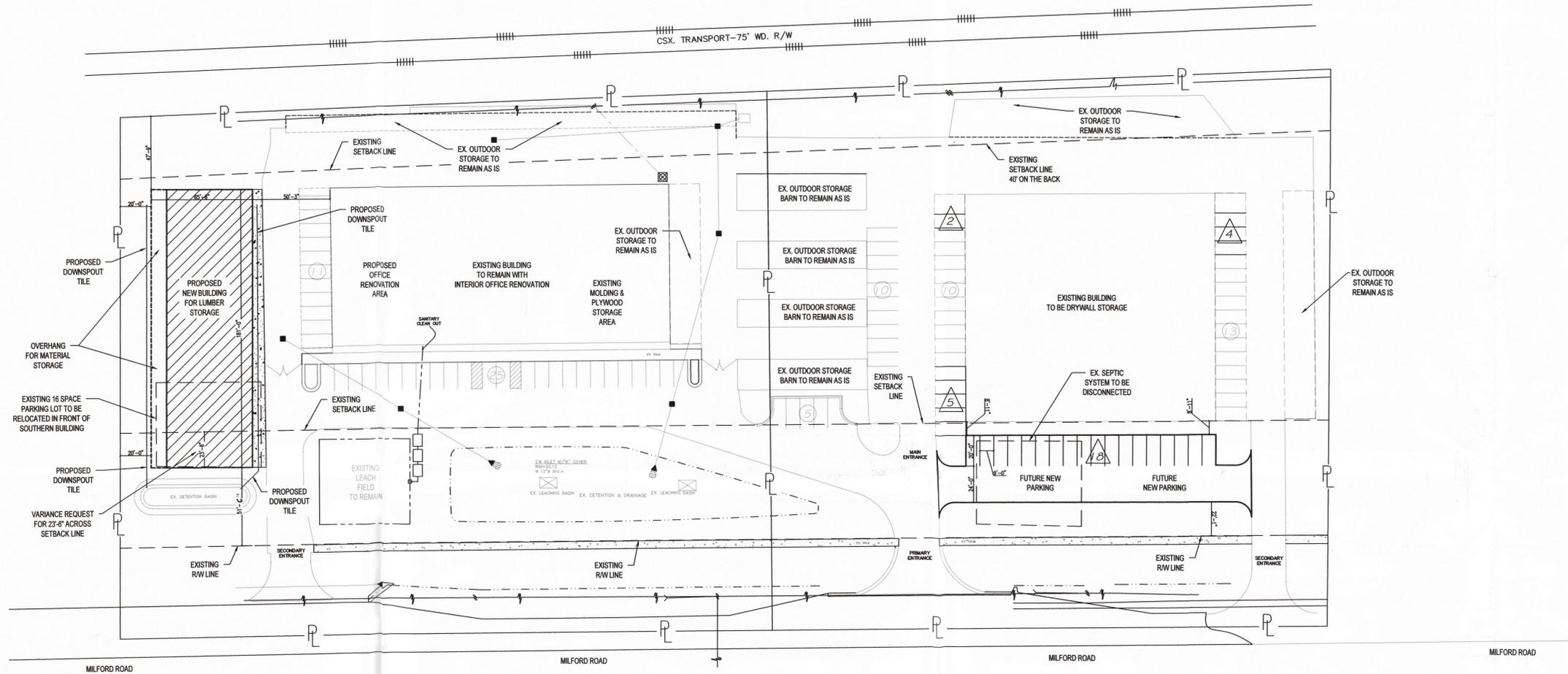
NICHOLE R. UHLENHAKE
 Notary Public, State Of Ohio
 My Commission Expires 3/22/25

Notary Public: Nichole R. Uhlenhake

• If there are Co-Applicants and/or Co-Owners associated with this property(ies) to be acted upon, please submit a Notarized Co-Applicant's and/or Co-owner's "Interest in Property Certificate" with this application. The person signing this cover sheet will be considered the official designee for the group and all correspondence will be addressed to this person.

• A notarized letter giving the Applicant authorization to represent the Owner is also permitted in lieu of a signature on this application. The person signing this cover sheet, however, will be considered the official designee for the Owner and all correspondence will be addressed to this person.

IVERSON LUMBER COMPANY PROPOSED LUMBER STORAGE BUILDING & FUTURE PARKING LOT HIGHLAND, MICHIGAN



SITE PLAN
SCALE: 1" = 40'-0"

PARKING CALCULATIONS

EX. NORTH BUILDING - 22,880 SF	
• 4,400 SF SHOWROOM / OFFICE (1 SPACE/ 200 SF)	= 22 SPACES
• 2,630 SF SHOWROOM (1 SPACE/ 200 SF)	= 13 SPACES
• 15,850 SF WAREHOUSE (1 SPACE/ 1500 SF)	= 11 SPACES
• 33 EMPLOYEES	= 33 SPACES
EX. SOUTH BUILDING - 23,976 SF	
• 23,976 SF WAREHOUSE (1 SPACE/ 1500 SF)	= 16 SPACES
PROP. NORTH BUILDING - 4,885 SF	
• 11,885 SF WAREHOUSE (1 SPACE/ 1500 SF)	= 8 SPACES
TOTAL REQUIRED	= 103 SPACES

PARKING SPACE EXISTING/ FUTURE

EXISTING PARKING	= 74 SPACES (LABELED AS #)
FUTURE PARKING	= 29 SPACES (LABELED AS /#)
TOTAL SPACES = 103 SPACES	

DRAWING INDEX

PROPOSED SITE PLAN	SHEET 1
PROPOSED FLOOR PLAN	SHEET 2
PROPOSED ELEVATIONS	SHEET 3

Bruns Consulting

2120 WATKINS RD, FT. RECOVERY, OH 45846
(937) 852-2467

PROPOSED SITE PLAN NEW BUILDING & FUTURE PARKING LOT IVERSON LUMBER COMPANY

REVISIONS:	DATE

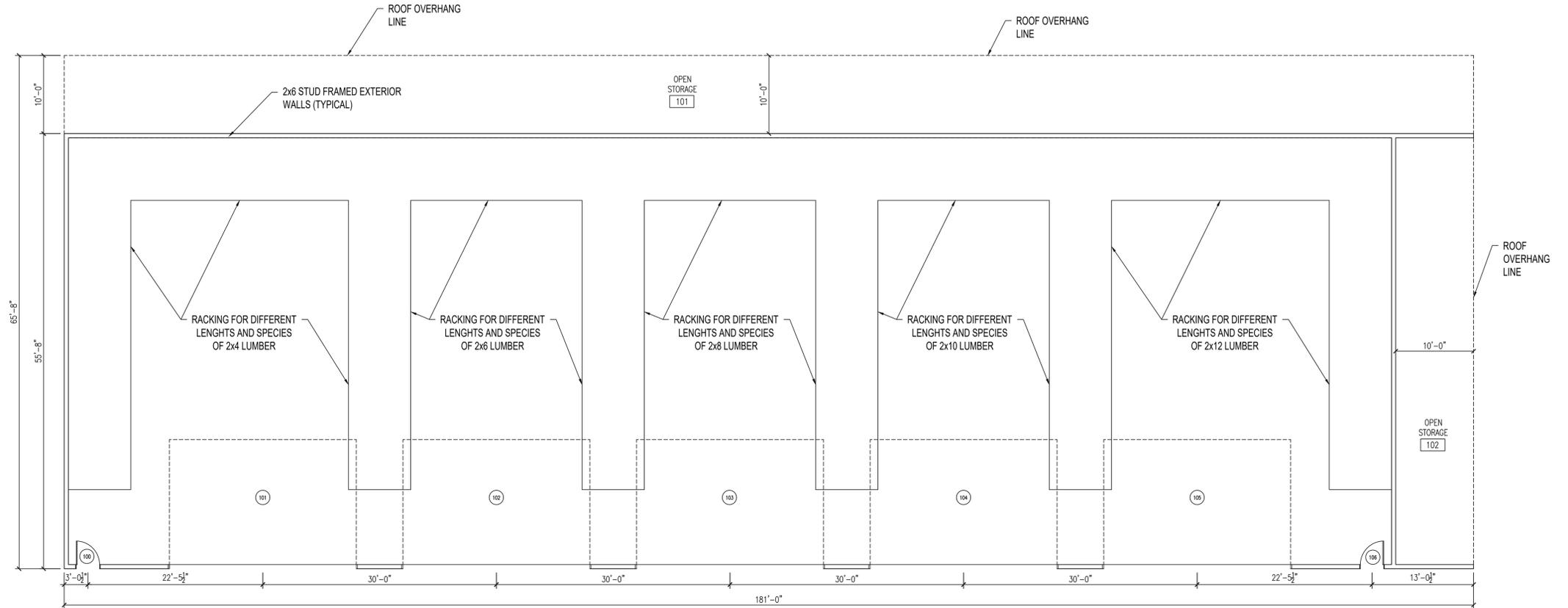
OWNER/SITE
IVERSON LUMBER COMPANY LLC
1570 N. MILFORD ROAD
HIGHLAND, MI 48357

ENGINEER
BRUNS CONSULTING LLC
2120 WATKINS ROAD
FORT RECOVERY, OHIO 45846
ENGINEER: MR. MICHAEL J. BRUNS, P.E.
PHONE: (419) 852-2467

PROJ. NO:	DWG. NO:	SCALE: AS SHOWN
DRAWN: MDB	CHECKED:	DATE: 01-15-24 SHEET NO: 1 OF 3

GENERAL NOTES

- CONCRETE FOOTINGS: CONCRETE SHALL BE PLACED ON ORIGINAL UNDISTURBED EARTH. FOOTINGS SHALL NOT BE PLACED ON FROZEN EARTH, MUD, ORGANIC SILT, OR UNPREPARED FILL. IT IS THE INTENT OF THESE PLANS THAT THE BOTTOM OF FOOTINGS SHALL BE BELOW THE LOCAL FROST LINE AND SHALL BE DISTRIBUTED THE MAXIMUM DESIGN LOAD AS SPECIFIED IN BEARING CAPACITY NOTE BELOW. FOOTINGS SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ACI 318. CONCRETE ULTIMATE COMPRESSIVE STRENGTH SHALL BE 4000 PSI OR GREATER AT 28 DAYS. PROTECT CONCRETE FROM FREEZING FOR A MINIMUM OF 5 DAYS UPON PLACEMENT.
- PRESUMPTIVE SOIL BEARING CAPACITY IS 1500 PSF.
- CONCRETE: UNLESS OTHERWISE NOTED, ALL EXTERIOR CONCRETE DRIVEWAYS, SIDEWALKS, AND APRONS SHALL BE 4000 PSI CONCRETE AND RECEIVE A LIGHTLY BROOMED, NONSKID CONCRETE FINISH. ALL INTERIOR CONCRETE SLABS SHALL RECEIVE A FLOATED AND STEEL TROWEL FINISH.
- ALL CAST-IN-PLACE CONCRETE WORK INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT BASES, PLUMBING BASES, AND ELECTRICAL EQUIPMENT BASES SHALL BE PERFORMED BY A PROFESSIONAL CONCRETE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL AGGREGATE FILL SHALL BE PLACED ON UNDISTURBED OR WELL COMPACTED EARTH SUBGRADE. ALL FILL UNDER CONCRETE SLABS SHALL LOOSE FILL AGGREGATE IN 6" LIFTS.
- MATERIAL COMPACTION STANDARDS: ALL COMPACTED MATERIALS IN BUILDING PADS, TRENCHES, EMBANKMENTS, ETC. SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS PER TYPE AND PLACEMENT OF EACH SPECIFIED MATERIAL.
- ALL REINFORCING STEEL SHALL BE MINIMUM GRADE 60.
- ALL WORK AND MATERIALS SHALL BE IN STRICT ACCORDANCE OF THE MOST CURRENT PERMISSIBLE EDITION OF THE LOCAL, STATE, AND FEDERAL CODE AND REGULATIONS.
- THE OWNER SHALL OBTAIN THE BUILDING PERMIT, MECHANICAL, AND ELECTRICAL PERMITS THROUGH THE LOCAL BUILDING DEPARTMENT AUTHORITY. ALL OTHER PERMITS AND LICENSES SHALL BE OBTAINED AND FEES PAID BY EACH RESPECTIVE GENERAL CONTRACTOR, PRIME CONTRACTOR, OR SUBCONTRACTOR REQUIRED FOR THEIR PORTION OF THE WORK.
- EACH RESPECTIVE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL INSPECTION AGENCIES TO MAKE PROPER INSPECTIONS AND SECURE APPROVALS.
- REINFORCING STEEL: METAL REINFORCEMENT SHALL CONFORM TO ACI 318, ACI 531, ANSINBS H74, NCMIA TR75-B, OR B1A REQUIREMENTS FOR ENGINEERED BRICK MASONRY.
- INSULATION: EXPOSED INSULATION SHALL CONFORM TO MICHIGAN BUILDING CODE CLASS I REQUIREMENTS. CONCEALED INSULATION SHALL CONFORM TO OBC CLASS II REQUIREMENTS. CELLULOSE INSULATION SHALL CONFORM TO CPSC STANDARD 16 CFR PARTS 1209 AND 1404. FOAM PLASTICS SHALL HAVE ASTM E84 FLAME SPREAD INDEX OF 75 OR LESS AND SMOKE DEVELOPED INDEX OF 450 OR LESS.
 - A. CONCEALED INSULATION: INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
 - B. EXPOSED INSULATION: INSULATING MATERIALS, WHERE EXPOSED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF 450 OR LESS.
- ALL DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT. DRAW BOLTS, HOOKS, ETC. ARE PROHIBITED.
- INTERIOR FINISHES FOR ROOMS AND ENCLOSED SPACES SHALL COMPLY WITH MICHIGAN BUILDING CODE TABLE 803.11.
 - CLASS A: FLAME SPREAD 0-25, SMOKE DEVELOPMENT 0-450
 - CLASS B: FLAME SPREAD 26-75, SMOKE DEVELOPMENT 0-450
 - CLASS C: FLAME SPREAD 76-200, SMOKE DEVELOPMENT 0-450.
- FLOOR FINISHES SHALL COMPLY WITH DOC FF-1 CLASS II.
- FASTENERS: ALL WALL AND ROOF COVERINGS SHALL BE SECURELY FASTENED WITH AL, CU, ZINC, OR ZINC COATED FASTENERS IN ACCORDANCE WITH THE COVERING MANUFACTURER'S RECOMMENDATIONS.
- STORE MATERIALS IN SUCH A MANNER AS NOT TO OVERSTRESS, OVERLOAD, OR OTHERWISE PUT AN UNSAFE LOAD ON ANY STRUCTURE DURING CONSTRUCTION.
- WHERE A DISCREPANCY IS FOUND BETWEEN EXISTING FIELD CONDITIONS AND/OR BETWEEN BUILDING ENGINEERING, STRUCTURAL, OR ELECTRICAL CONTRACT DOCUMENTS, NOTIFY ENGINEER FOR CLARIFICATION PRIOR TO BIDDING, FABRICATION, OR INSTALLATION.
- EACH RESPECTIVE CONTRACTOR SHALL VERIFY ALL EQUIPMENT SIZES AND LOCATIONS WITH THE OWNER PRIOR TO INSTALLATION.
- DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. IF A REQUIRED DIMENSION IS NOT INDICATED, CONTACT THE ENGINEER FOR DETERMINATION.
- IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE COMPLETE WORKING SYSTEMS FOR ALL ELEMENTS OF THE PROJECT.
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO COORDINATE THEIR WORK WITH ALL OTHER TRADES INVOLVED TO PROVIDE A COMPLETE WORKING SYSTEM.
- ALL CONTRACTORS SHALL PROVIDE NEW, UNDAMAGED MATERIALS UNLESS OTHERWISE SPECIFIED.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL TOP SOIL REMOVAL/REPLACEMENT, EXCAVATION, SUBGRADE COMPACTION, FILL AND AGGREGATE BASE NECESSARY TO PREPARE THE BUILDING PAD.



FLOOR PLAN
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE									
OPENING #	DOORS WxHxT	MTRL	TYPE	GLASS	FRAME	HDWR SET	EXT	INT	REMARKS
100	3068 x 1 3/4"	MTL	FL	HG	WD	1	X	-	
101	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
102	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
103	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
104	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
105	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
106	3068 x 1 3/4"	MTL	FL	HG	WD	1	X	-	

HARDWARE SCHEDULE			
HARDWARE SET #1			
1 1/2 PAIR BALL BEARING HINGES			
1 - GRADE 1 LEVERED HEAVY DUTY CYLINDRICAL LOCKSET			
1 - ALUMINUM THRESHOLD - ADA COMPLIANT			
1 - WEATHER STRIPPING			
1 - DOOR CLOSER			
HARDWARE SET #2			
1 - 3" DOOR TRACKS			
1 - WEATHERSTRIPPING			
1 - DOOR OPERATOR			

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**PROPOSED FLOOR PLAN
NEW BUILDING & FUTURE PARKING LOT
IVERSON LUMBER COMPANY**

REVISIONS:

PROJ. NO. _____

DRAWN: **MDB**

DWG. NO. _____

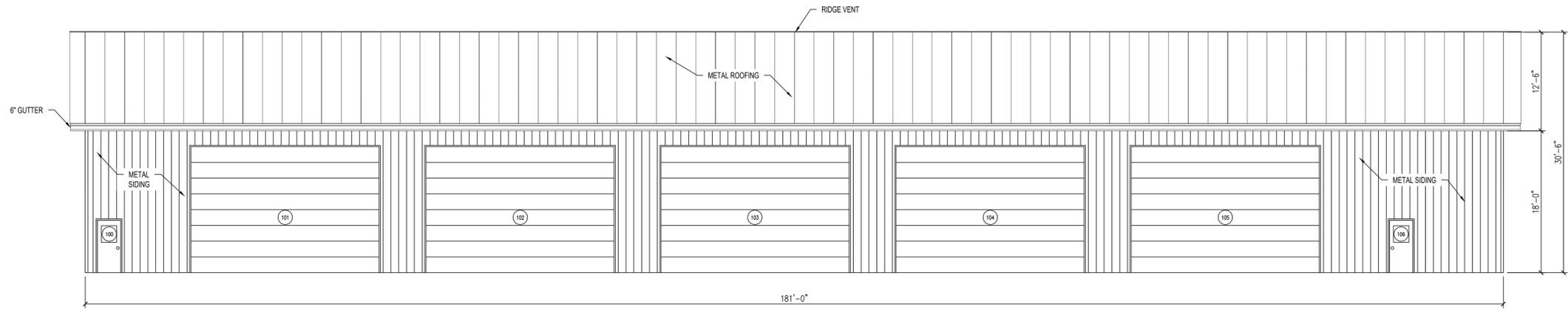
CHECKED: _____

SCALE: **AS SHOWN**

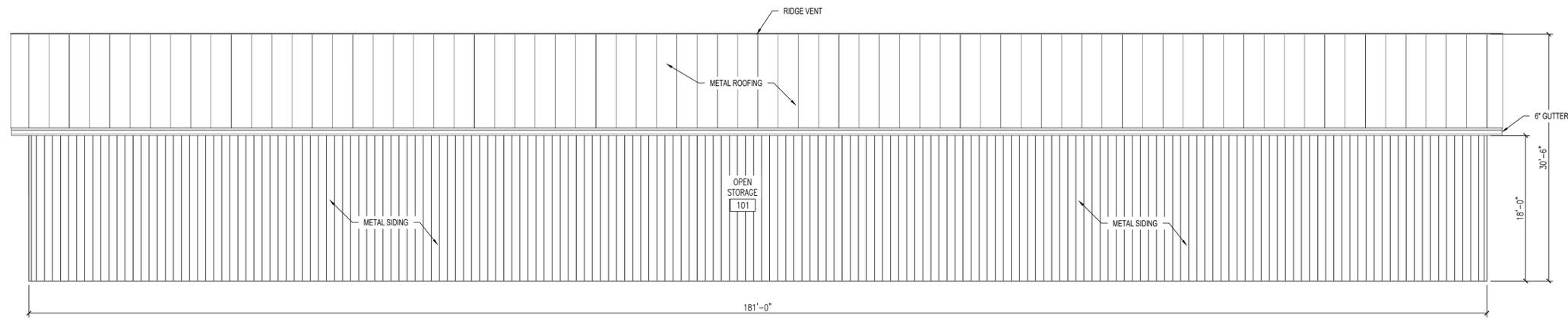
DATE: **01-15-24**

DATE _____

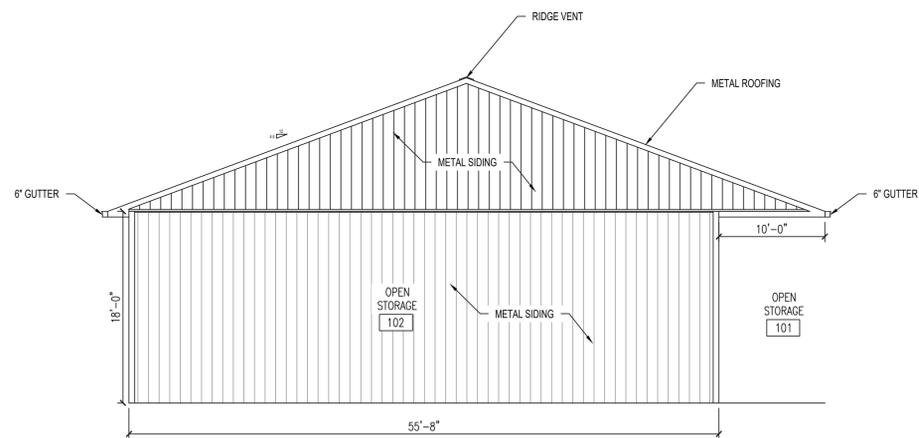
SHEET NO. **2 OF 3**



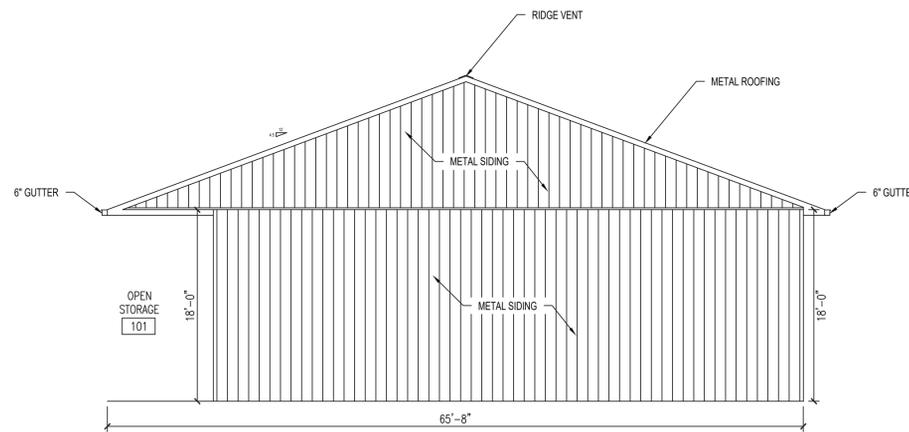
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

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**PROPOSED ELEVATIONS
NEW BUILDING & FUTURE PARKING LOT
IVERSON LUMBER COMPANY**

REVISIONS:	DATE

PROJ. NO.:	DWG. NO.:	SCALE: AS SHOWN
DRAWN: MDB	CHECKED:	DATE: 01-15-24 SHEET NO. 3 OF 3

1664 N Milford Rd
Highland MI 48357-3806

View: Front

Structure: Primary

Photo Date: 04/08/2013



Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : IVERSON'S 1664 N MILFORD LLC
 Mailing Address : 1570 MILFORD RD N HIGHLAND MI 48357

Location Information

Site Address : 1664 N MILFORD RD HIGHLAND MI 48357-3806
 PIN : 11-15-376-008 Neighborhood Code : IND
 Municipality : Charter Township of Highland
 School District : 63220 HURON VALLEY SCHOOLS
 Use : 201 Commercial - Improved
 Water Indicator : N Sewer Indicator : N
 Well Indicator : N Septic Indicator : N

Property Description

T3N, R7E, SEC 15 PART OF SW 1/4 BEG AT PT DIST N 89-15-00 E 1313.99 FT & N 00-36-50 W 560.33 FT FROM SW SEC COR, TH N 00-36-50 W 424.26 FT, TH S 89-46-25 E 339.41 FT, TH S 02-16-43 E 419.46 FT, TH S 89-23-10 W 351.56 FT TO BEG 3.34 A 5-28-96 FR 005

Split/Combination Information

Added Status : Added Parcel
 Added Date : 05/31/1996 Added To : FR 005

Tax Information

Taxable Value : \$503,520 State Equalized Value : \$661,810
 Current Assessed Value : \$661,810 Capped Value : \$503,520
 Effective Date For Taxes : 12/01/2023 Principal Residence Exemption : 0%

2022 Taxes

Summer : \$19,428.42
 Winter : \$4,590.24

2023 Taxes

Summer : \$20,399.54
 Winter : \$5,078.00

Village : Village :

Lot Information

Description : LEVEL Acres : 2.67

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Building/Section 1

Building	: 1	Used As	: Industrial - Flex (Mall) Loft Buildings
Year Built	: 1998	Effective Year	: 2001
Class	: C	Quality	: Average
No of Stories	: 1	Height Per Story (feet)	: 20
Avg Square Feet	: 22,880	Elevators	: N
Sprinklers	: Y	Identical Units	: 1
Total Building Square Footage	: 22,880		

No lump sum improvements Data Available for Building/Section1

Building/Section 1 Yard Adjustments

Description	: Paving (Asphalt)		
Square Feet	: 46,840	Units	: H