



Memorandum

To: Planning Commission Members
From: Elizabeth J Corwin, PE, AIPC; Planning Director
Date: February 7, 2024
Re: Land Use Permit for Temporary Land Use
Thrive Methodist Church Flea Market and Food Vendor event
680 W. Livingston
11-21-476-009

The application before you is a temporary land use, regulated under Section 4.16 Temporary Uses in any zoning district. The proposal is for a one day event including a flea market and food truck sales on a Saturday, June 1, 2024. The application has not specified the specific day.

In reviewing this proposal, please refer to the factors included in the ordinance, such as the adequacy of screening to adjacent residential properties, setbacks, traffic patterns and the like. The Planning Commission may impose reasonable conditions upon the issuance of the land use permit, such as limits to the hours of operation or outdoor sound systems.





**NEW BUSINESS
REGISTRATION
LAND USE PERMIT
APPLICATION**

PARCEL ID # 11-21-476-009 PARCEL ZONING _____
 BUSINESS NAME: Thrive Church of Highland BUSINESS PHONE: 248-887-1311
 BUSINESS ADDRESS: 680 W. Livingston Rd Highland MI 48357
 HOURS OF OPERATION: Sundays 9-12 M-F 9-4 SQUARE FOOTAGE: approx 9 acres of grounds
 PLEASE DESCRIBE YOUR BUSINESS OPERATIONS IN DETAIL: church services and special events. (land use is for a flea market and food truck event in June 2024. 1 day use)
 ANY HAZARDOUS MATERIALS: none known
 BUSINESS OWNER'S NAME: Methodist Church PHONE: 248-887-1311
Deborah LaRose - 586-2017787
 ADDRESS: same
 BUSINESS OWNER'S E-MAIL ADDRESS: dmarie072@aol.com
 PROPERTY OWNER'S NAME: _____ PHONE: _____
 ADDRESS: Sat - June 1, 2024
 PROPERTY OWNER'S E-MAIL ADDRESS _____

A SCALED DRAWING OF INTERIOR FLOOR PLAN MUST BE INCLUDED

EMERGENCY CONTACTS: (BREAK IN, FIRE, BUILDING PROBLEMS)

CONTACT # 1: Deborah LaRose
 PHONE: 586-2017787 CELL: _____
 CONTACT # 2: Pam Haskell - church secretary
 PHONE: 248 88 71311 CELL: 248-3428382

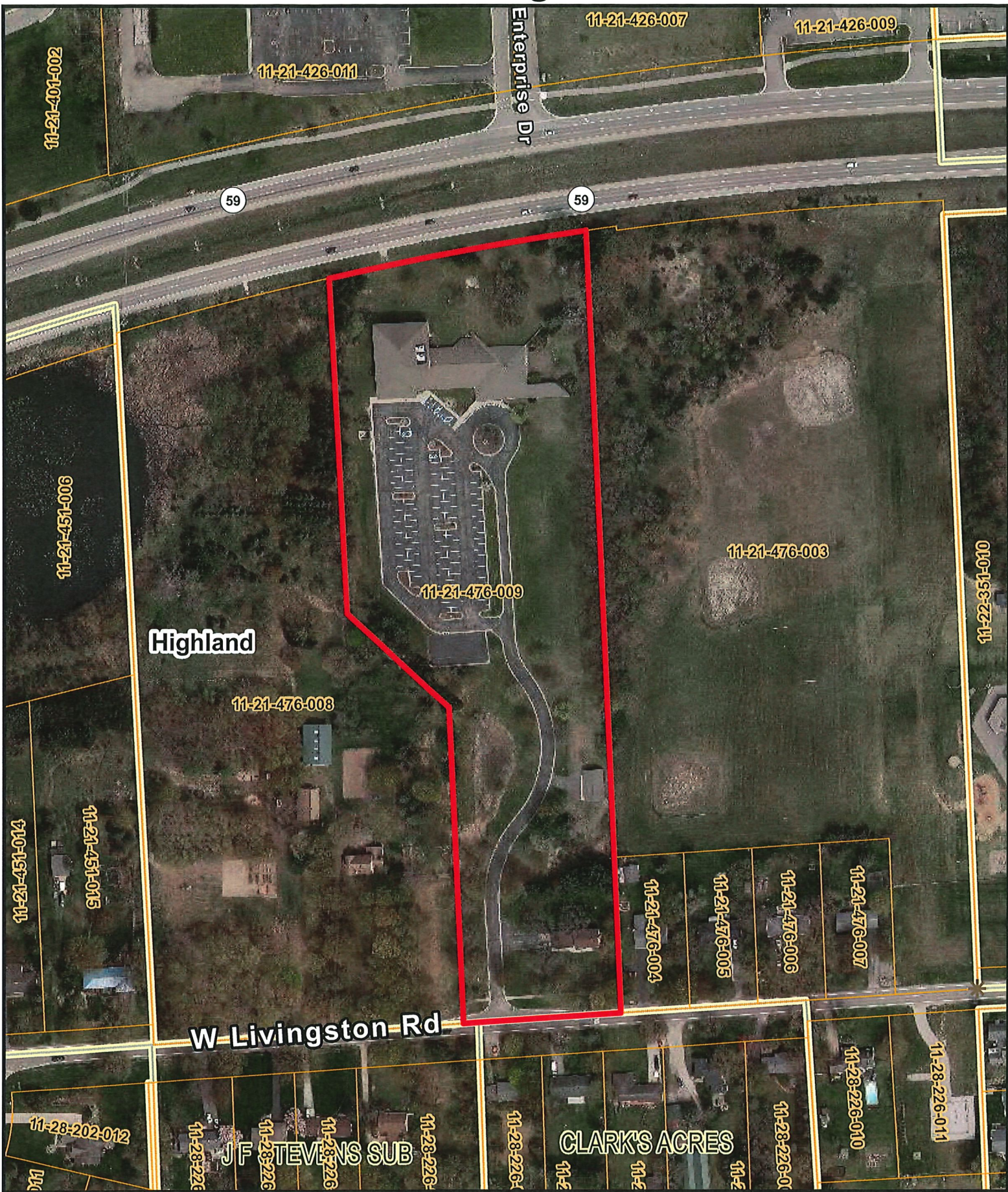
I HEARBY CERTIFY THAT THE ABOVE INFORMATION IS CORRECT TO THE BEST OF MY KNOWLEDGE. I FULLY UNDERSTAND THE BUSINESS REQUIRMENTS OF THE CHARTER TOWNSHIP OF HIGHLAND. I FURTHER UNDERSTAND THAT IF ANY CHANGES OCCUR FROM THOSE LISTED OR REQUIRED BY THE TOWNSHIP, INCLUDING BUT NOT LIMITED TO STORAGE OF COMBUSIBLE MATERIALS, CHANGES IN NATURE OF THE BUSINESS, CHANGES OF OWNERSHIP, EMERGENCY CONTACT INFORMATION, AND ETC...I MUST NOTIFY THE CHARTER TOWNSHIP OF HIGHLAND IN WRITING WITHIN (10) BUSINESS DAY OF SAID CHANGES. THE APPLICANT IS THE ONLY PERSON AUTHORIZED TO MAKE CHANGES TO THIS APPLICATION.

Deborah LaRose
 BUSINESS OWNERS/ APPLICANT SIGNATURE
Deborah LaRose
 PRINT NAME

1-22-2024 RECEIVED
 DATE SIGNED
 DATE RECEIVED JAN 22 2024
 HIGHLAND TWP
 PLANNING DEPT

Zoning _____ Building _____ Fire Marshal _____ Assessor _____ Treasurer _____ Clerk _____ Supervisor _____ DDA Director _____
 Land Use Permit # PLU24-0001 Date Issued _____

680 W Livingston Rd



-  2 Foot Contours
-  5 Foot Contours
-  FEMA Base Flood Elevations
-  FEMA Cross Sections
-  100 yr - FEMA Floodplain
-  100 yr (detailed) - FEMA Floodplain
-  500 yr - FEMA Floodplain
-  FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.

OAKLAND COUNTY MICHIGAN
 Economic Development & Community Affairs
David Coulter
 Oakland County Executive

Date Created: 1/23/2024

 NORTH
 1 inch = 200 feet

3D

MAP

-  food trucks
-  10 x 10 vendor spots
-  registration area
-  porta pottys
-  garbage cans

- red arrow is the flow of traffic with the food truck area blocked off
- Area is approx 320' from first tent to last tent and approx 140' wide from edge of driveway to the tree lines

first

last



 32°
